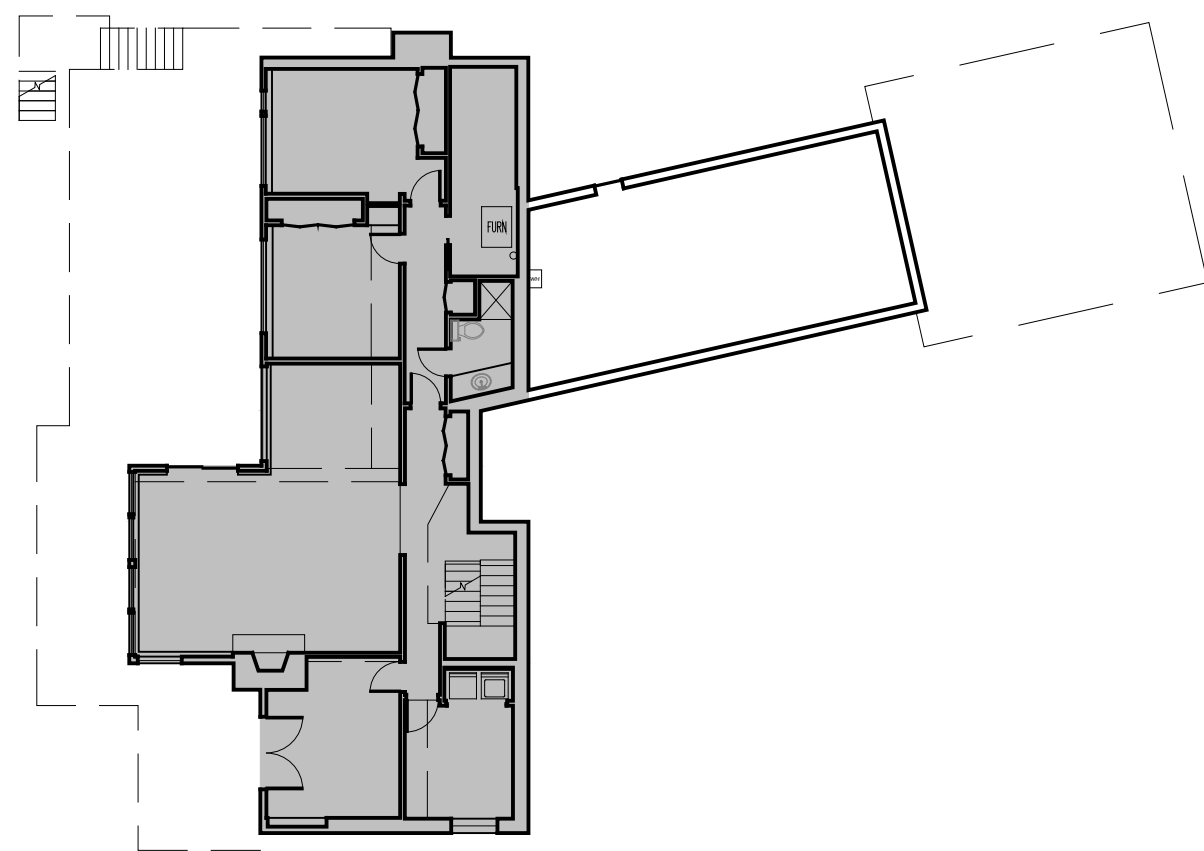
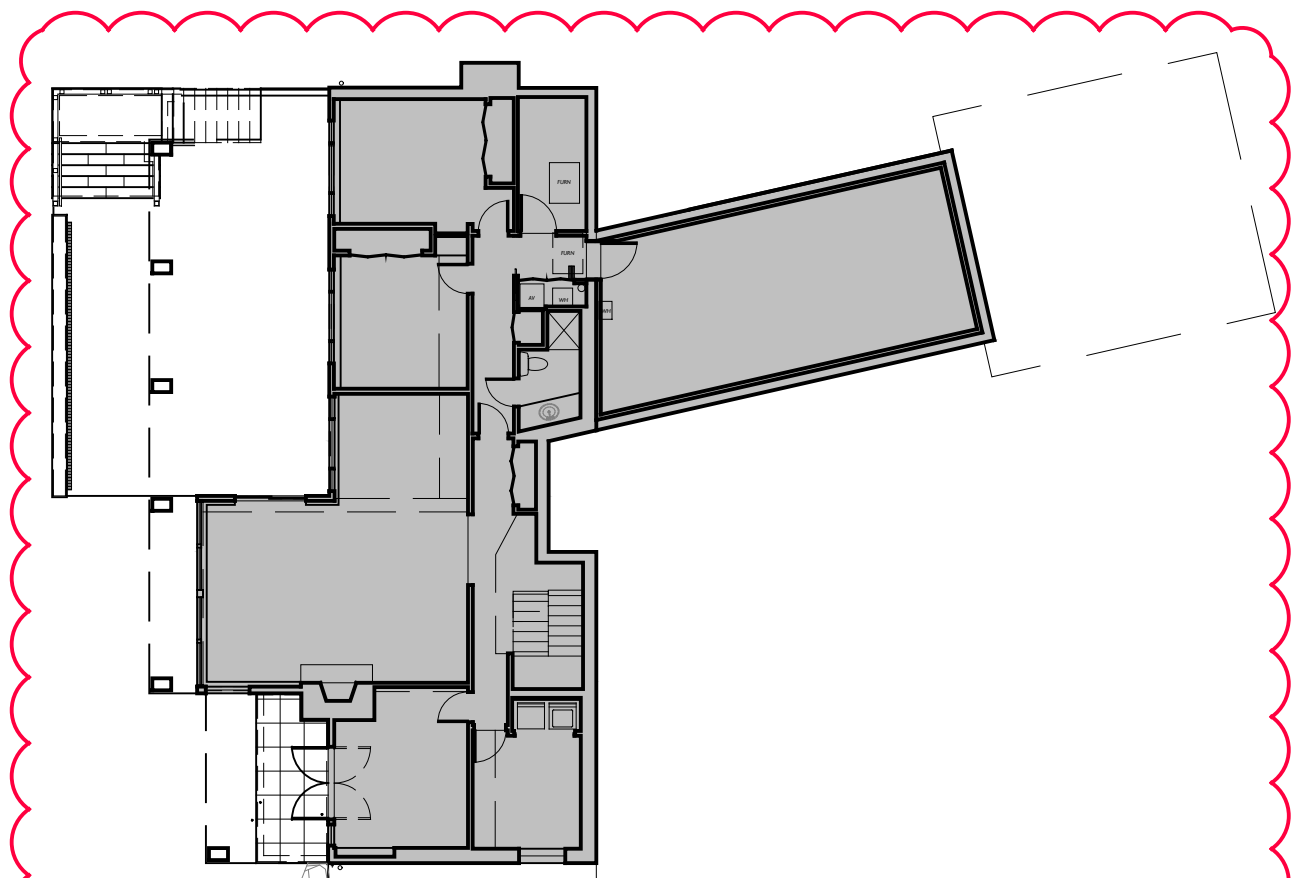


1 SITE PLAN - LOT COVERAGE DIAGRAM
A0.2 SCALE: 1/16" = 1'-0"



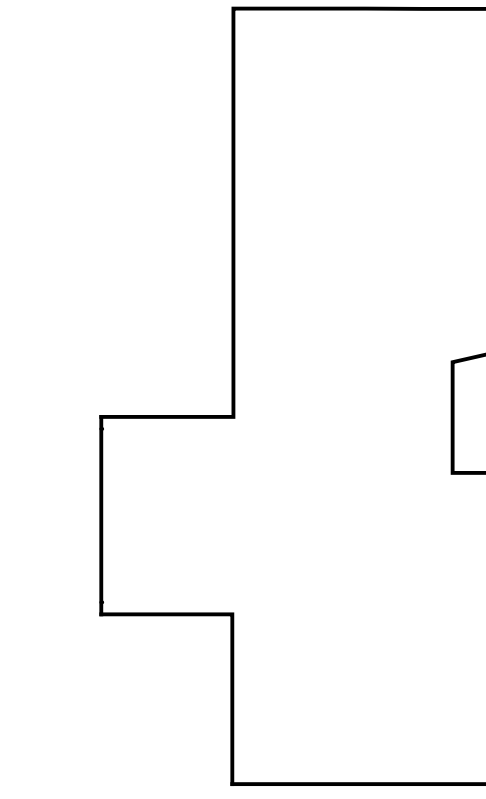
EXISTING BASEMENT

(E) AREA BOUND BY EXTERIOR FACE = 1,596 SF
AREA EXCLUDED PER APPENDIX B = (711) SF
(E) BASEMENT GROSS FLOOR AREA = 885 SF



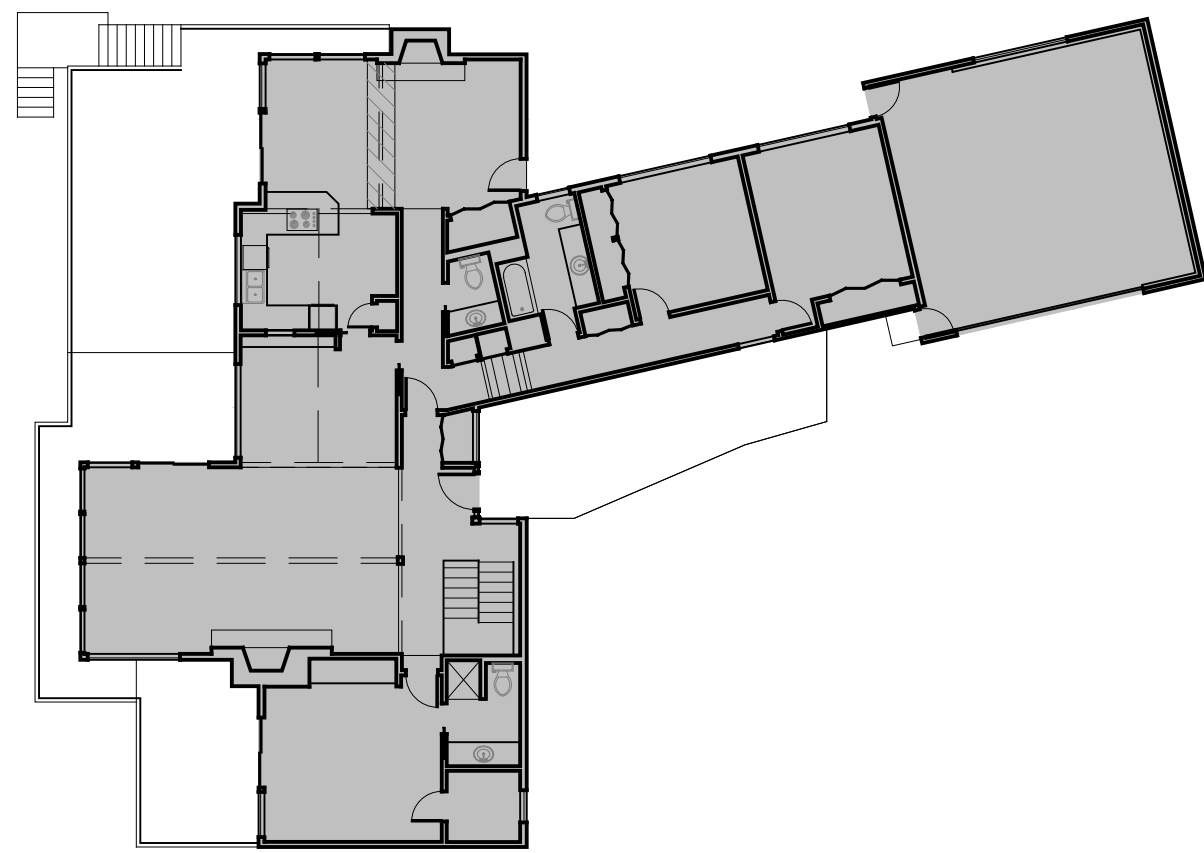
PROPOSED BASEMENT

PROPOSED AREA BOUND BY EXTERIOR FACE = 2,118 SF
AREA EXCLUDED PER APPENDIX B = (1,182) SF
PROPOSED BASEMENT GROSS FLOOR AREA = 936 SF



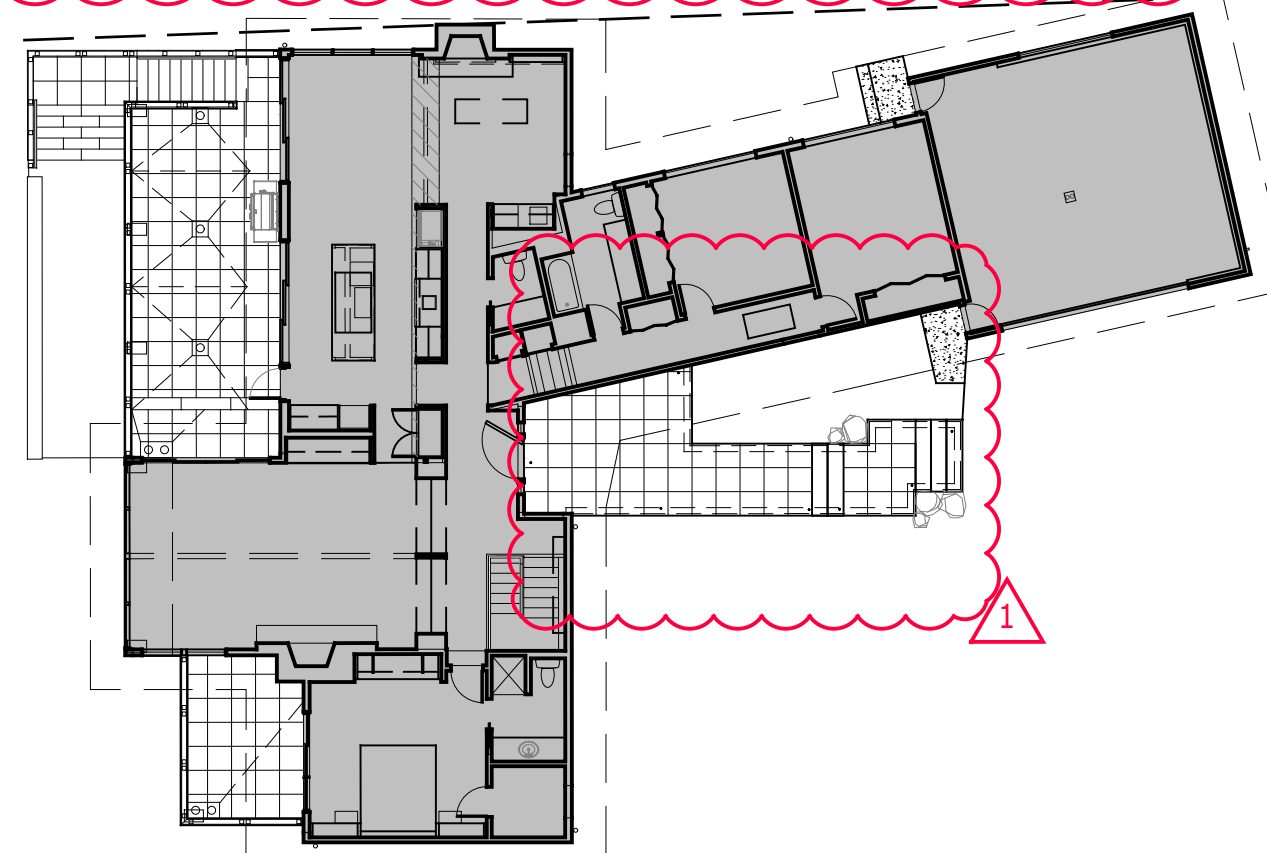
BASEMENT STRUCTURAL WALL ALTERATION CALC

LF OF EXISTING EXTERIOR WALL = 202.72 LF
LF OF EXTERIOR WALL BEING ALTERED = 0.00 LF
% OF BASEMENT WALL ALTERATION = 0.00%



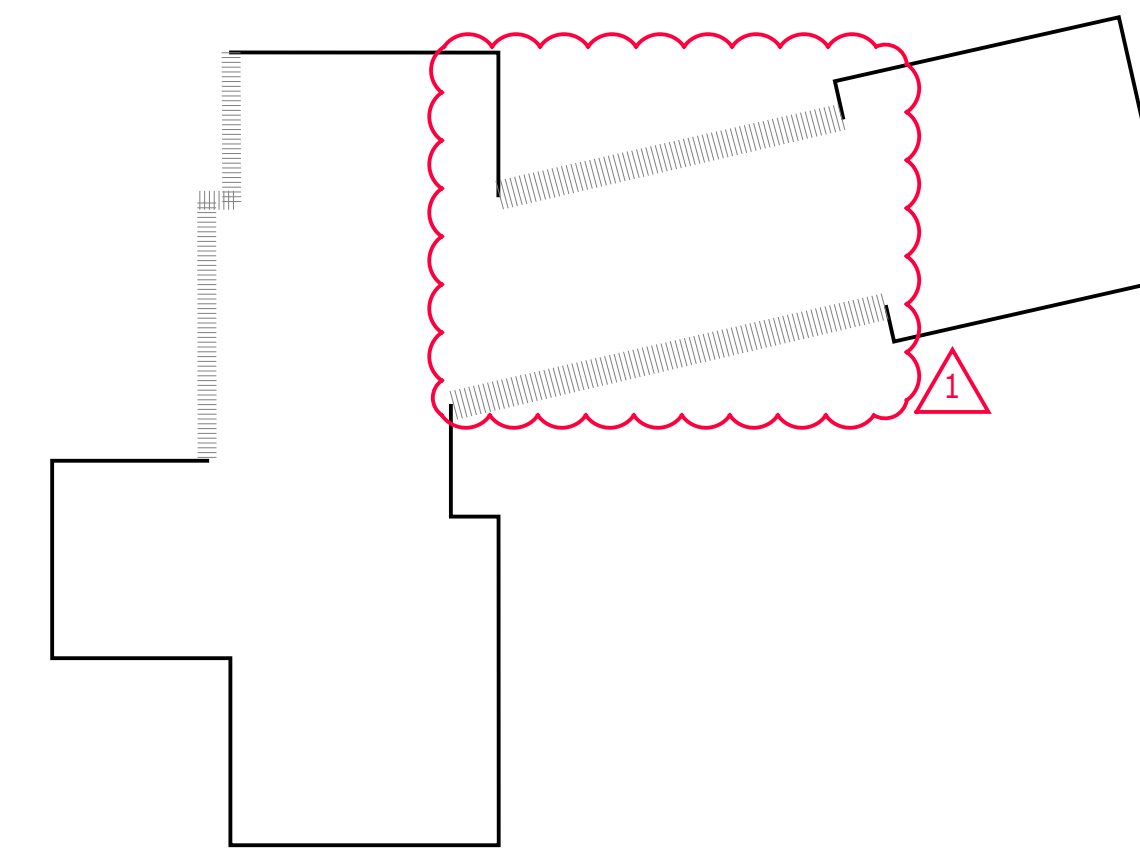
EXISTING MAIN FLOOR

(E) AREA BOUND BY EXTERIOR FACE = 2,783 SF
150% AREA FOR 12'-16"CLNG = 42 SF
(E) MAIN FLOOR GROSS FLOOR AREA = 2,825 SF



PROPOSED MAIN FLOOR

PROPOSED AREA BOUND BY EXTERIOR FACE = 2,808 SF
150% AREA FOR 12'-16"CLNG = 54 SF
PROPOSED MAIN FLOOR GROSS FLOOR AREA = 2,862 SF



MAIN FLOOR STRUCTURAL WALL ALTERATION CALC

LF OF EXISTING EXTERIOR WALL = 336.41 LF
LF OF EXTERIOR WALL BEING ALTERED = 102.33 LF
% OF MAIN FLOOR WALL ALTERATION = 30.4%

2 GROSS FLOOR AREA CALCULATIONS
A0.2 SCALE: 1/16" = 1'-0"

3 STRUCTURAL WALL ALTERATION CALCULATION
A0.2 SCALE: 1/16" = 1'-0"

LOT COVERAGE CALCULATIONS:

LOT AREA =	26,775 SF
VEHICLE EASEMENT AREA =	(552) SF
NET LOT AREA =	26,223 SF

LOT COVERAGE CALCULATION:
LOT SLOPE: (85'-19' / 286.25') * 100 = 23.0%

MAX ALLOWED LOT COVERAGE (35%) =	9,178 SF
REQUIRED LANDSCAPING (65%) =	17,045 SF

EXISTING LOT COVERAGE (32.2%) = 8,458 SF

- 3,809 SF HOUSE
- 4,649 SF DRIVING SURFACE

PROPOSED LOT COVERAGE (32.2%) = 8,444 SF

- 3,795 SF HOUSE
- 4,649 SF DRIVING SURFACE

MAX ALLOWED HARDSCAPE AREA (9%) = 2,409 SF

EXISTING HARDSCAPE AREA (2.4%) = 632 SF

- 503 SF DECKS & STAIRS
- 88 SF ENTRY WALKWAY
- 41 SF RETAINING WALL

PROPOSED HARDSCAPE AREA (3.3%) = 874 SF

- 194 SF LOWER TERRACE
- 115 SF STAIR
- 337 SF UPPER DECK
- 187 ENTRY WALKWAY
- 41 SF (E) RETAINING WALL
- (591) (E) SF REMOVED

GROSS FLOOR AREA CALCULATIONS: (SEE 2/A0.2)

ZONING: R-15
MAXIMUM GROSS FLOOR AREA: 10,710 SF (40%)

EXISTING GROSS FLOOR AREA: 3,710 SF (14.1%)

- 885 SF BASEMENT
- 2,825 SF MAIN FLOOR

PROPOSED GROSS FLOOR AREA: 3,798 SF (14.4%)

- 936 SF BASEMENT
- 2,862 SF MAIN FLOOR

TOTAL NET NEW HARDSCAPE & GFA: 330 SF*

- 88 SF NEW GFA
- 242 SF NEW HARDSCAPE

* NET NEW DEVELOPMENT AREA < 500 SF DOES NOT REQUIRE SHORELINE NATIVE VEGETATION PLANTING PER MICC 19.13.050(K)(4)

TOTAL STRUCTURAL WALL ALTERATION CALCULATION: (SEE 3/A0.2)

LF OF EXISTING EXTERIOR WALL = 547.41 LF
LF OF EXTERIOR WALL BEING ALTERED = 35.83 LF
TOTAL % OF EXTERIOR WALL ALTERATION = 6.54%

CONRAD ROMANO ARCHITECTS

VANDERWALL RESIDENCE
7179 HOLLY HILL DRIVE
MERCER ISLAND, WA 98040

7046 REGISTERED ARCHITECT
JAMES PATRICK ROMANO
STATE OF WASHINGTON

stamp

File Name: VAND A0.1 general info
Plot Date: 4/20/22
Project ID: VAND
Drawn: EV
Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	8/31/21	CD SET
1	4/20/22	PERMIT REVISION

Issue For: PERMIT REVISION
sheet info

LAND USE CALCS

if scale is not 1", this drawing has been enlarged or reduced
sheet title

A0.2

sheet number

SITE INFORMATION

ASSESSOR'S PARCEL NUMBER: 252404-9049

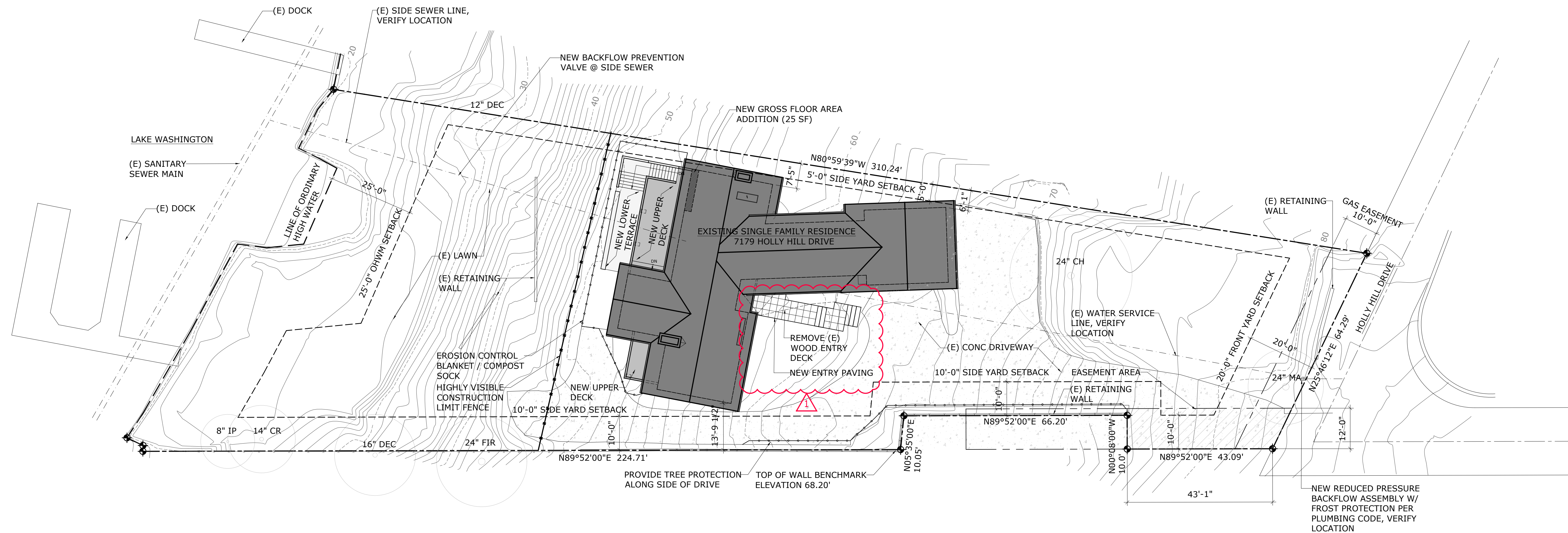
LEGAL DESCRIPTION:

POR GL 3 BEG S 89-52-00 W 3805 FT OF E 1/4 COR OF SEC TH N 25-46-12 E 64.29 FT TH N 80-59-39 W TO SH OF LK WASH TH SWLY ALG SD SH LN TO S LN GL 3 TH ELY TO BEG & SH LDS ADJ LESS BEG SE COR THOF TH N 25-46-12 E 13.34 FT TH S 89-52-00 W 48.92 FT TH S 00-08-00 E 2 FT TO TPOB TH CONT S 00-08-00 E 10 FT TO S LN THOF TH WLY ALG SD S LN 67.20 FT TO WLY EDGE OF EXISTING CONCRETE CURB TH N 05-35-00 E 10.05 FT TH N 89-52-00 E 66.20 FT TO TPOB

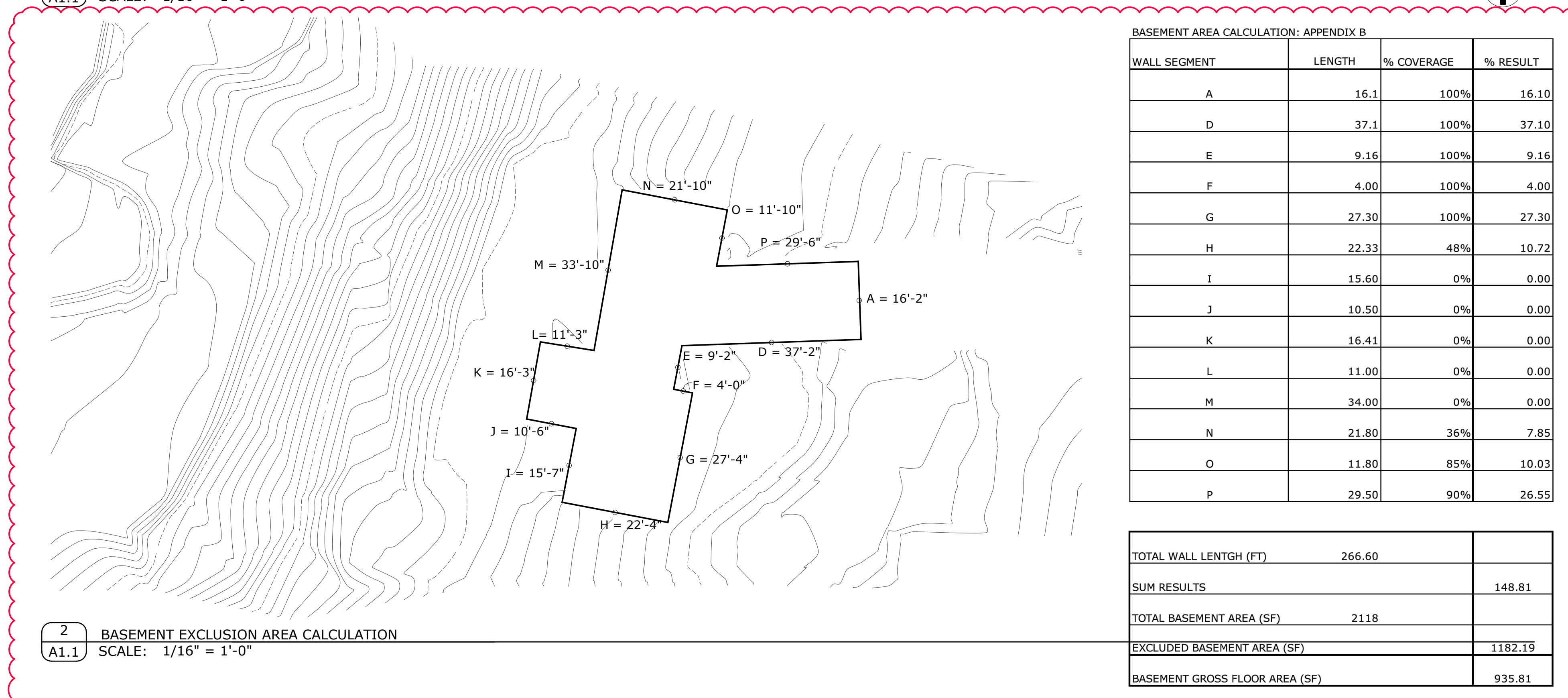
CONARD ROMANO ARCHITECTS

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1 SITE PLAN
A1.1 SCALE: 1/16" = 1'-0"



2 BASEMENT EXCLUSION AREA CALCULATION
A1.1 SCALE: 1/16" = 1'-0"



stamp

File Name: VAND A1.0 site plan
Plot Date: 4/20/22
Project ID: VAND
Drawn: SW
Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	5/28/21	PERMIT CORRECTIONS
	4/20/22	PERMIT REVISION

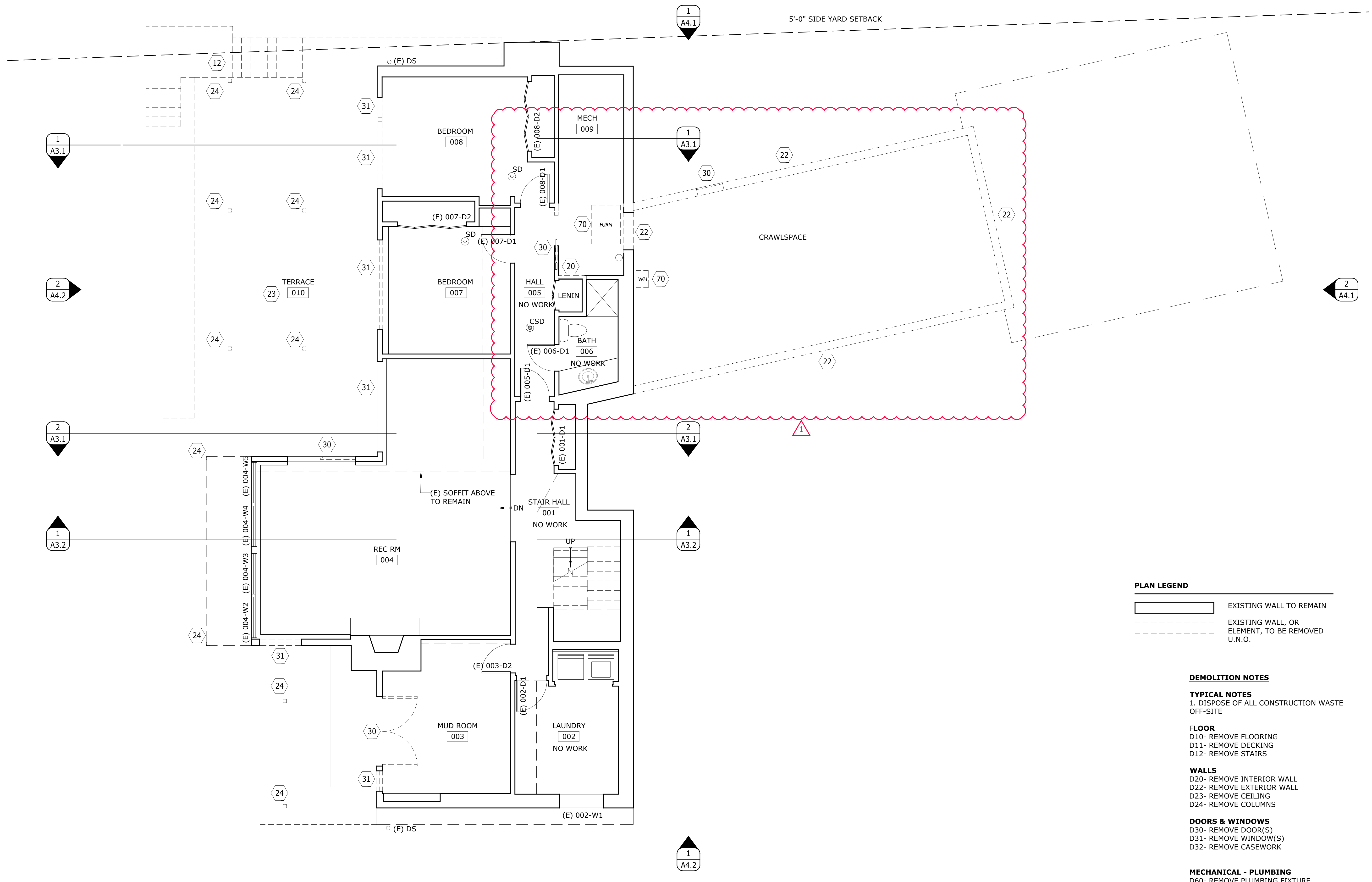
Issue For: PERMIT REVISION
sheet info

ARCH SITE PLAN

if scale is not 1", this drawing has been enlarged or reduced
sheet title

A1.1

sheet number



PLAN LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL, OR ELEMENT, TO BE REMOVED U.N.O.

DEMOLITION NOTES

TYPICAL NOTES
 1. DISPOSE OF ALL CONSTRUCTION WASTE OFF-SITE

FLOOR
 D10- REMOVE FLOORING
 D11- REMOVE DECKING
 D12- REMOVE STAIRS

WALLS
 D20- REMOVE INTERIOR WALL
 D22- REMOVE EXTERIOR WALL
 D23- REMOVE CEILING
 D24- REMOVE COLUMNS

DOORS & WINDOWS
 D30- REMOVE DOOR(S)
 D31- REMOVE WINDOW(S)
 D32- REMOVE CASEWORK

MECHANICAL - PLUMBING
 D60- REMOVE PLUMBING FIXTURE

FIXTURES
 D70- REMOVE FIXTURE/APPLIANCE

stamp

File Name: VAND A2.0 Floor Plans
 Plot Date: 1/26/21
 Project ID: VAND
 Drawn: EV
 Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	5/28/21	PERMIT CORRECTIONS

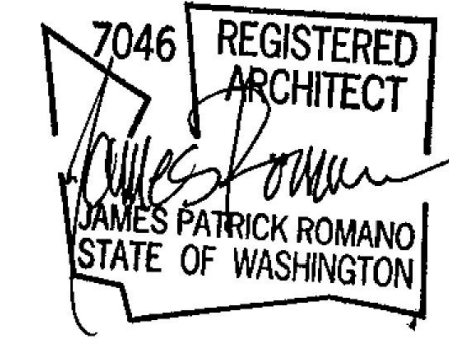
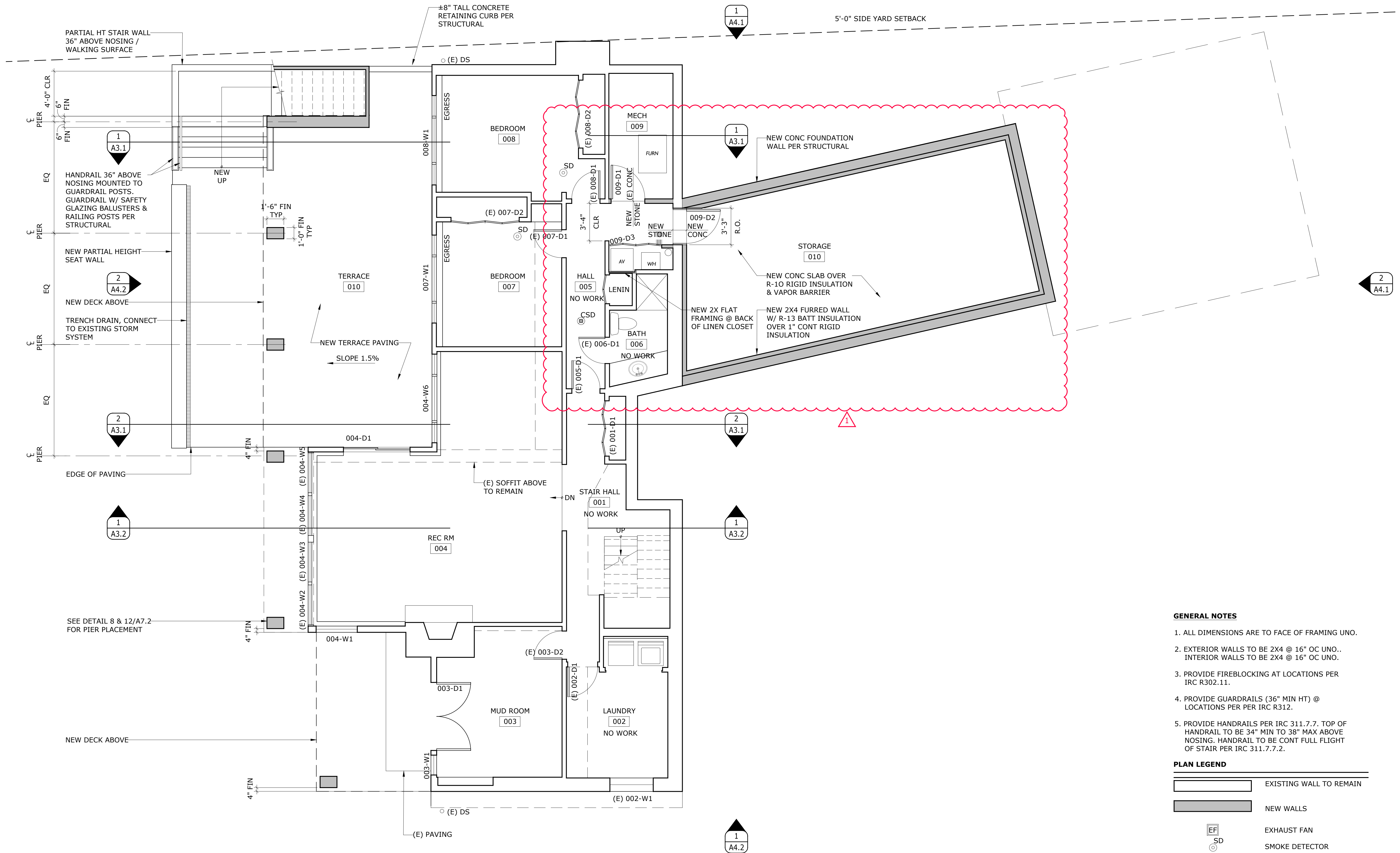
Issue For: PERMIT
 sheet info

LOWER FLOOR DEMO PLAN

if scale is not 1", this drawing has been enlarged or reduced
 sheet title

1 LOWER FLOOR DEMO PLAN
 AD2.1 SCALE: 1/4" = 1'-0"

AD2.1



stamp

File Name: VAND A2.0 Floor Plans
 Plot Date: 4/20/22
 Project ID: VAND
 Drawn: EV
 Checked: JR

mark	date	issue	description
	1/26/21	BUILDING PERMIT	
	5/28/21	PERMIT CORRECTIONS	
▲	4/20/22	PERMIT REVISION	

Issue For: PERMIT REVISION
 sheet info

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO.
- EXTERIOR WALLS TO BE 2X4 @ 16" OC UNO.. INTERIOR WALLS TO BE 2X4 @ 16" OC UNO.
- PROVIDE FIREBLOCKING AT LOCATIONS PER IRC R302.11.
- PROVIDE GUARDRAILS (36" MIN HT) @ LOCATIONS PER PER IRC R312.
- PROVIDE HANDRAILS PER IRC 311.7.7. TOP OF HANDRAIL TO BE 34" MIN TO 38" MAX ABOVE NOSING. HANDRAIL TO BE CONT FULL FLIGHT OF STAIR PER IRC 311.7.7.2.

PLAN LEGEND

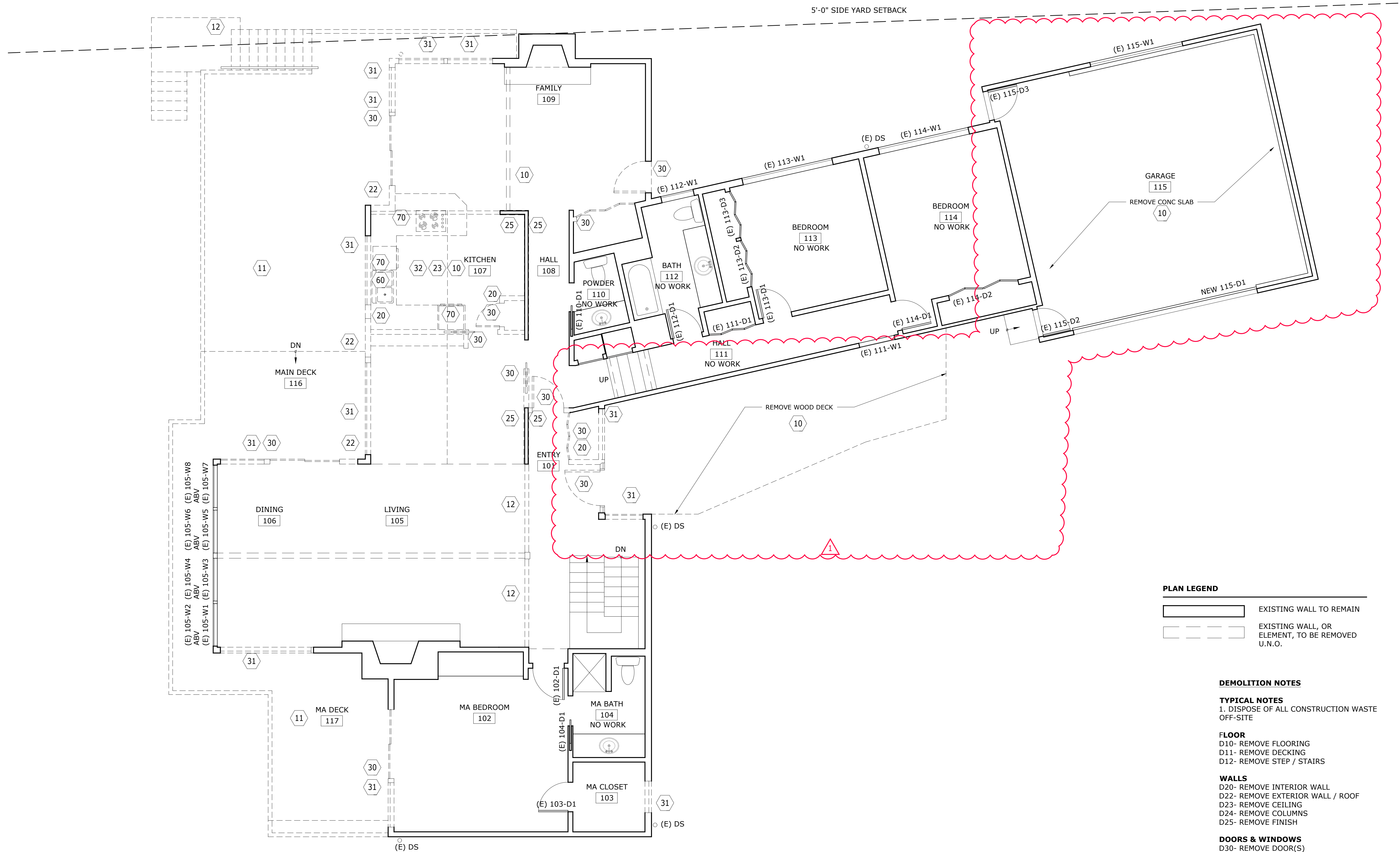
- EXISTING WALL TO REMAIN
- NEW WALLS
- EF EXHAUST FAN
- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- CSD COMBO SMOKE /CARBON DETECTOR
- H HEAT DETECTOR
- DO GARAGE DOOR OPENER

LOWER FLOOR PLAN

0" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"
 if scale is not 1", this drawing has been enlarged or reduced
 sheet title

A2.1

1 LOWER FLOOR PLAN
 A2.1 SCALE: 1/4" = 1'-0"



PLAN LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL, OR ELEMENT, TO BE REMOVED U.N.O.

DEMOLITION NOTES
TYPICAL NOTES
 1. DISPOSE OF ALL CONSTRUCTION WASTE OFF-SITE

FLOOR
 D10- REMOVE FLOORING
 D11- REMOVE DECKING
 D12- REMOVE STEP / STAIRS

WALLS
 D20- REMOVE INTERIOR WALL
 D22- REMOVE EXTERIOR WALL / ROOF
 D23- REMOVE CEILING
 D24- REMOVE COLUMNS
 D25- REMOVE FINISH

DOORS & WINDOWS
 D30- REMOVE DOOR(S)
 D31- REMOVE WINDOW(S)
 D32- REMOVE CASEWORK

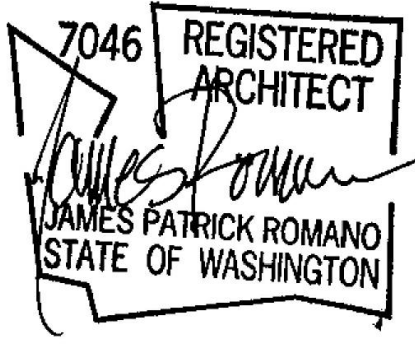
MECHANICAL - PLUMBING
 D60- REMOVE PLUMBING FIXTURE

FIXTURES
 D70- REMOVE FIXTURE/APPLIANCE

CONARD ROMANO ARCHITECTS

VANDERWALL RESIDENCE
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 MERCER ISLAND, WA 98040

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 Seattle, Washington 98112
 206 295 4427
 www.conardromano.com



stamp

File Name: VAND A2.0 Floor Plans
 Plot Date: 4/20/22
 Project ID: VAND
 Drawn: EV
 Checked: JR

mark	date	issue description
	1/26/21	BUILDING PERMIT
	4/20/22	PERMIT REVISION

Issue For: PERMIT REVISION
 sheet info

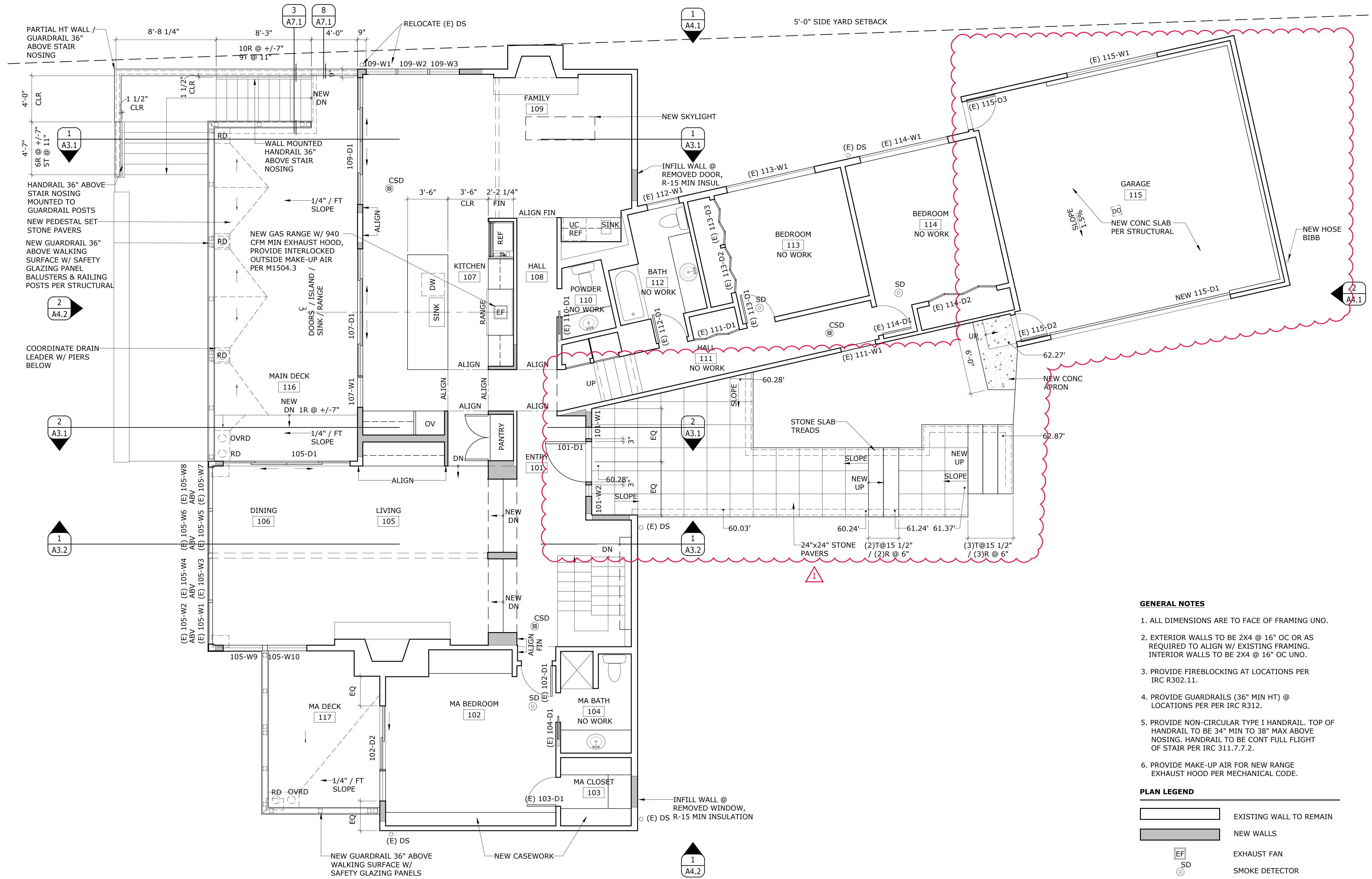
MAIN FLOOR DEMO PLAN

if scale is not 1", this drawing has been enlarged or reduced
 sheet title

1 MAIN FLOOR DEMO PLAN
 AD2.2 SCALE: 1/4" = 1'-0"

AD2.2

sheet number



1 MAIN FLOOR PLAN
A2.2 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO.
- EXTERIOR WALLS TO BE 2X4 @ 16" OC OR AS REQUIRED TO ALIGN W/ EXISTING FRAMING. INTERIOR WALLS TO BE 2X4 @ 16" OC UNO.
- PROVIDE FIREBLOCKING AT LOCATIONS PER IRC R302.11.
- PROVIDE GUARDRAILS (36" MIN HT) @ LOCATIONS PER PER IRC R312.
- PROVIDE NON-CIRCULAR TYPE I HANDRAIL. TOP OF HANDRAIL TO BE 34" MIN TO 38" MAX ABOVE NOSING. HANDRAIL TO BE CONT FULL FLIGHT OF STAIR PER IRC 311.7.7.2.
- PROVIDE MAKE-UP AIR FOR NEW RANGE EXHAUST HOOD PER MECHANICAL CODE.

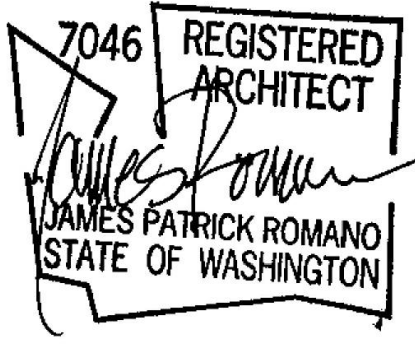
PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW WALLS
- EXHAUST FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBO SMOKE /CARBON DETECTOR
- HEAT DETECTOR
- GARAGE DOOR OPENER

CONARD ROMANO ARCHITECTS

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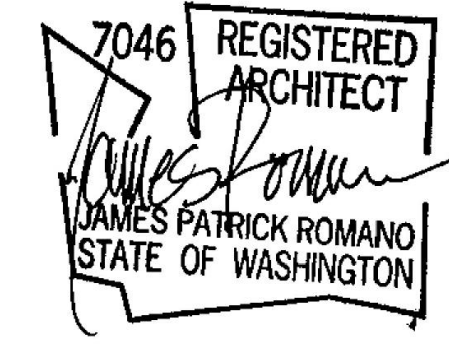
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File Name: VAND A2.0 Floor Plans		
Plot Date: 4/20/22		
Project ID: VAND		
Drawn: EV		
Checked: JR		
mark	date	issue description
	1/26/21	BUILDING PERMIT
	5/28/21	PERMIT CORRECTIONS
	4/20/22	PERMIT REVISION
Issue For: PERMIT REVISION		
sheet info		

MAIN FLOOR PLAN

1" = 1'-0"
if scale is not 1", this drawing has been enlarged or reduced
sheet title

A2.2

sheet number



stamp

File Name: VAND A2.0 Floor Plans
 Plot Date: 4/20/22
 Project ID: VAND
 Drawn: EV
 Checked: JR

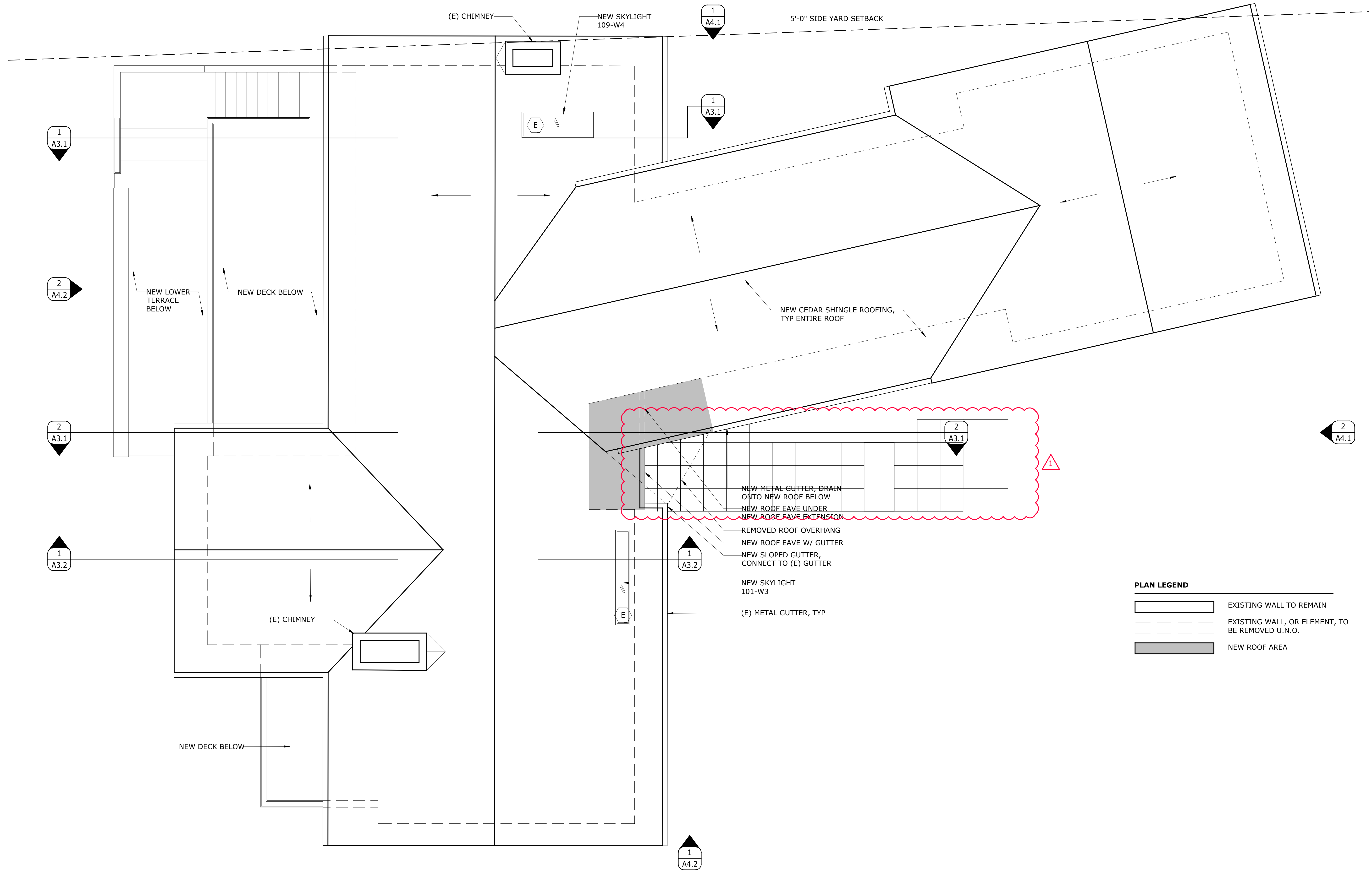
mark	date	issue description
△	1/26/21	BUILDING PERMIT
	4/20/22	PERMIT REVISION

Issue For: PERMIT REVISION
 sheet info

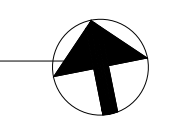
ROOF PLAN

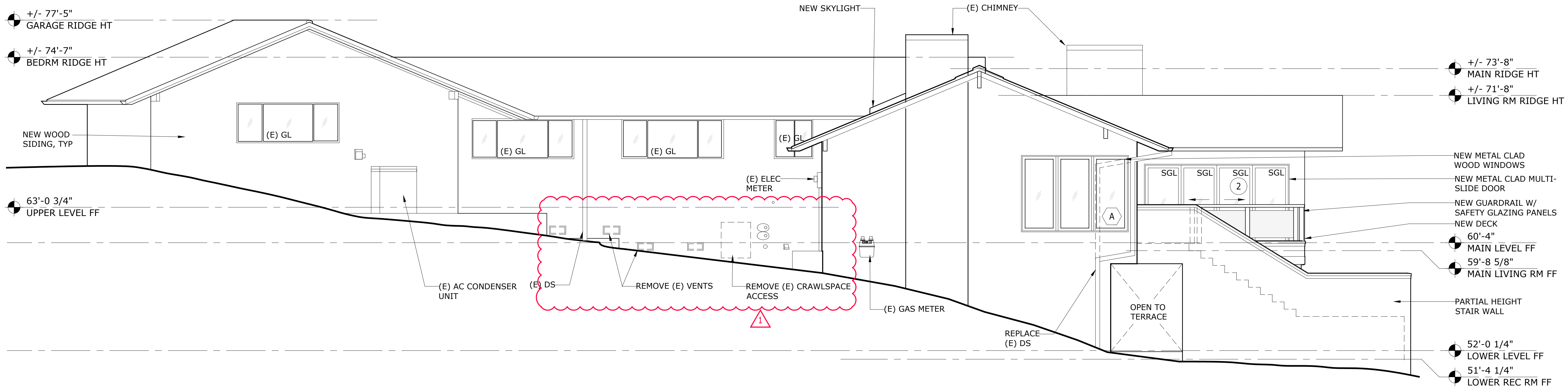
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 sheet title

A2.3

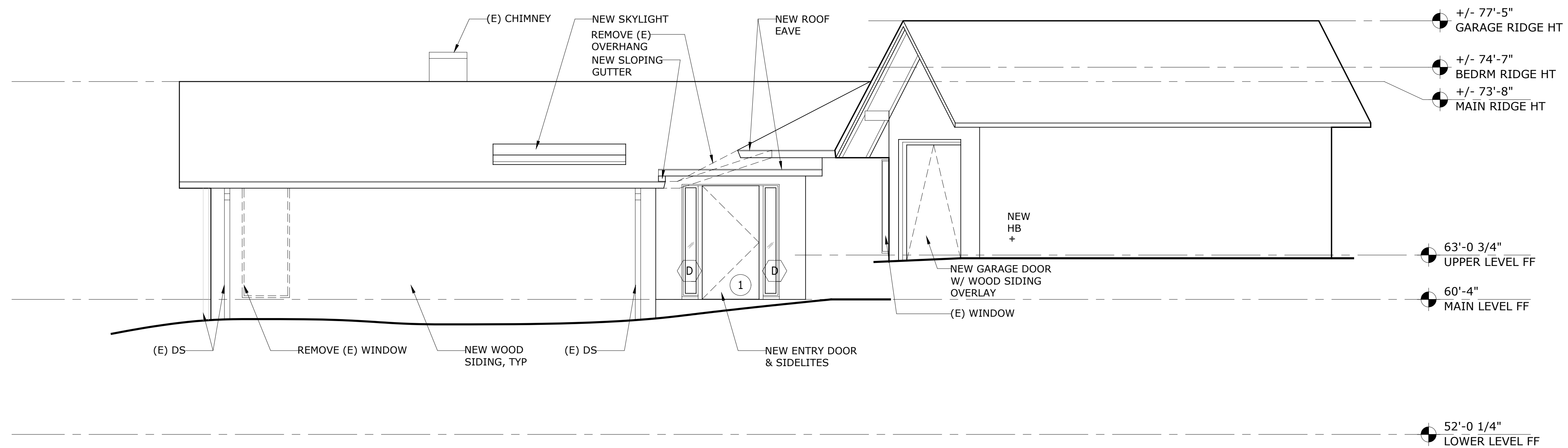


1 ROOF PLAN
 A2.3 SCALE: 1/4" = 1'-0"

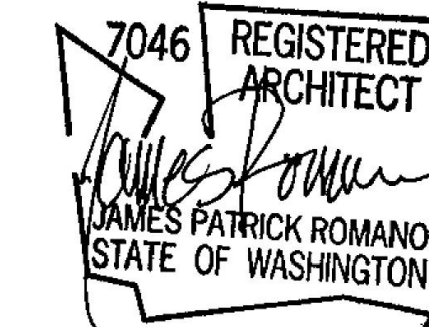




1 NORTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



stamp

File Name: VAND A4.0 Ext. Elevations
Plot Date: 4/20/22
Project ID: VAND
Drawn: SW
Checked: JR

mark	date	issue description
1	1/26/21	BUILDING PERMIT
2	4/20/22	PERMIT REVISION

Issue For: PERMIT REVISION

sheet info

EXTERIOR ELEVATION

if scale is not 1", this drawing has been enlarged or reduced
sheet title

A4.1

sheet number



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fax 206 447 6971
kwarn@harriottvalentine.com

Project Architect
Conard Romano Architects
518 28th Avenue East
Seattle, WA 98112

Project
Vanderwall Residence
7179 Holly Hill Drive
Mercer Island, WA 98040

Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawlspace Convers.

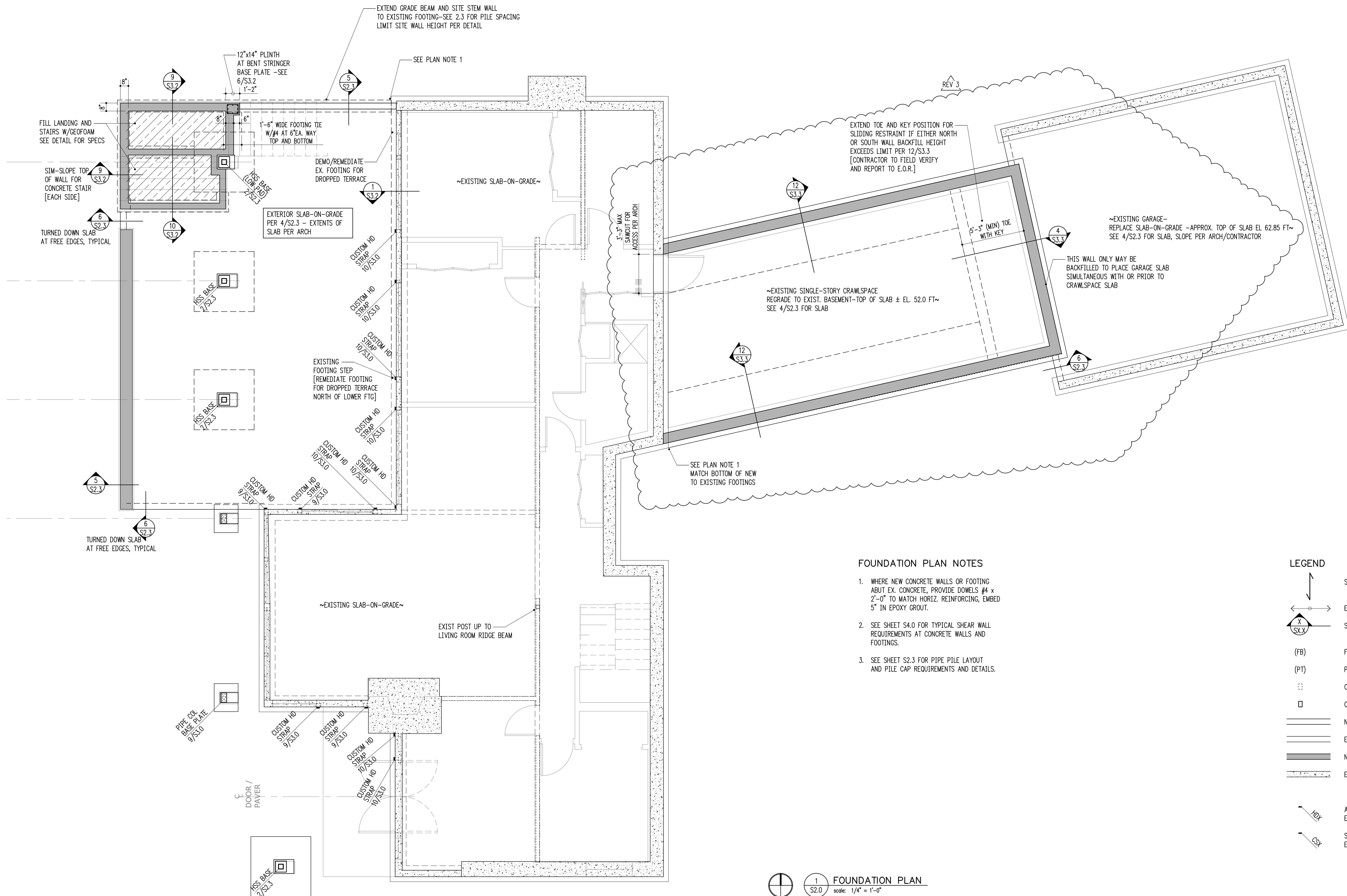
Building Department Approval

Drawing Title
FOUNDATION PLAN

Drawing Number

S2.0

VANDERWALL RESIDENCE



FOUNDATION PLAN NOTES

- WHERE NEW CONCRETE WALLS OR FOOTING ABUT EX. CONCRETE, PROVIDE DOWELS #4 x 2'-0" TO MATCH HORIZ. REINFORCING, EMBED 5" IN EPOXY GROUT.
- SEE SHEET S4.0 FOR TYPICAL SHEAR WALL REQUIREMENTS AT CONCRETE WALLS AND FOOTINGS.
- SEE SHEET S2.3 FOR PIPE PILE LAYOUT AND PILE CAP REQUIREMENTS AND DETAILS.

LEGEND

- SPAN
- EXTENT
- SECTION DETAIL
- (FB) FLUSH BEAM
- (PT) PRESSURE-TREATED
- COLUMN ABOVE
- COLUMN BELOW
- NEW STRUCTURAL WALL
- EXISTING STRUCTURAL WALL
- NEW CONCRETE WALL
- EXISTING CONCRETE WALL
- HDX ALL-THREAD HOLDOWN AT END OF SHEARWALL ABOVE
- CSY STRAP HOLDOWN AT END OF SHEARWALL ABOVE

1 FOUNDATION PLAN
scale: 1/4" = 1'-0"

NOTE! EXISTING FOUNDATION AS INDICATED ON THIS PLAN IS ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



4/20/22

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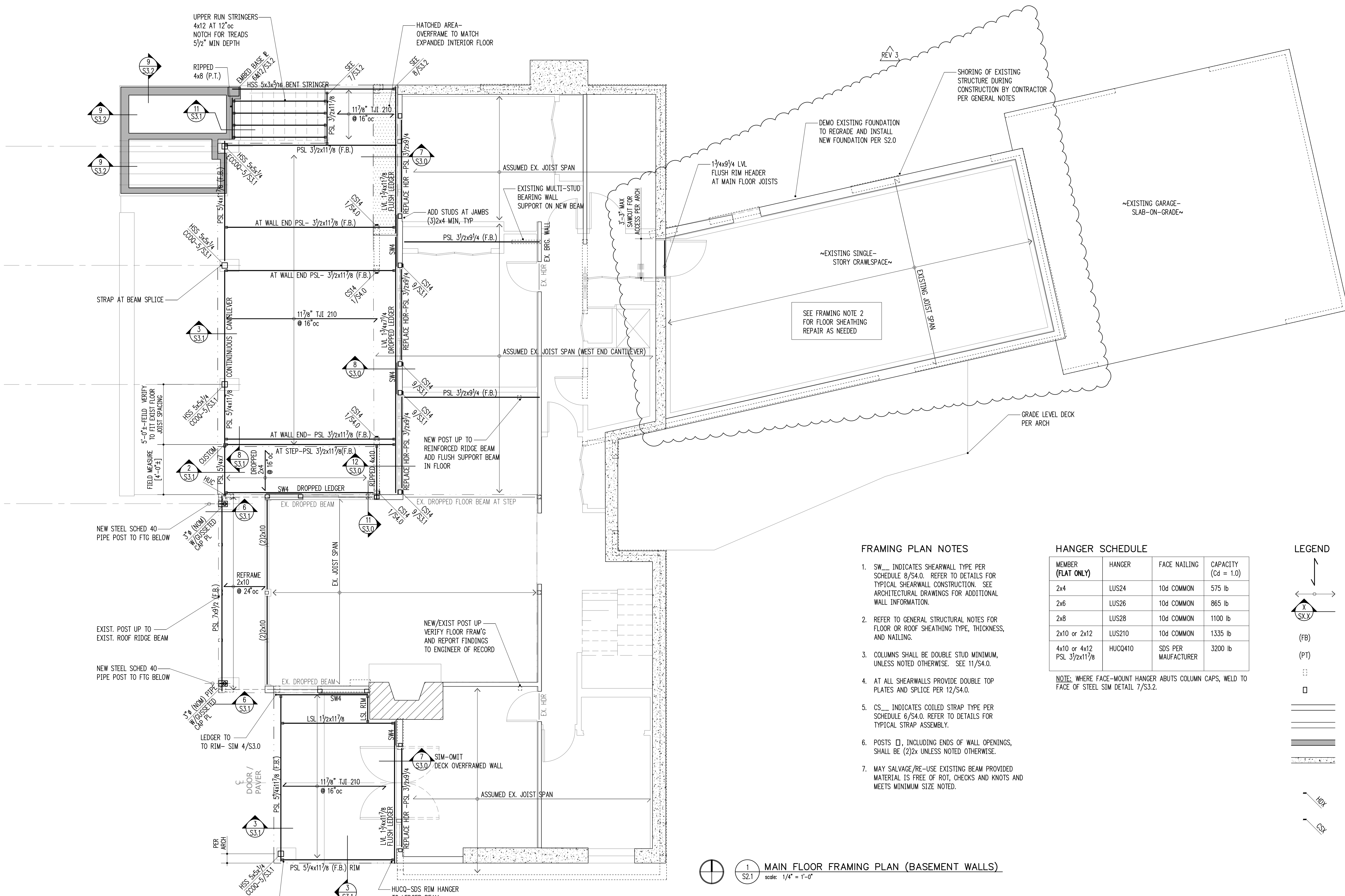
Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawlspace Convers.

Building Department Approval

Drawing Title
MAIN FLOOR FRAMING PLAN

Drawing Number
S2.1

VANDERWALL RESIDENCE



FRAMING PLAN NOTES

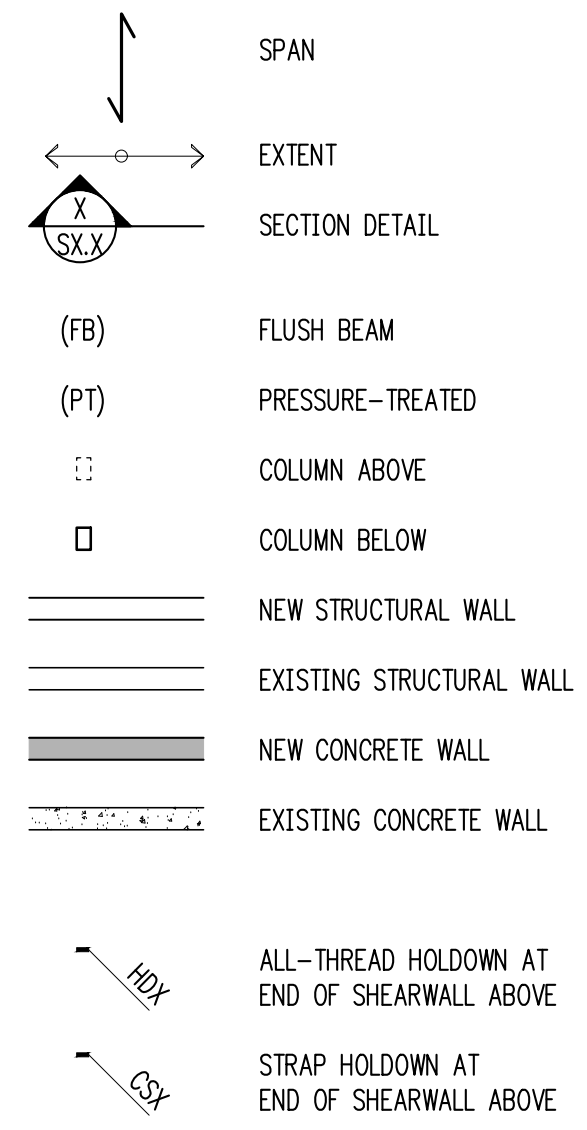
- SW ___ INDICATES SHEARWALL TYPE PER SCHEDULE 8/S4.0. REFER TO DETAILS FOR TYPICAL SHEARWALL CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WALL INFORMATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR FLOOR OR ROOF SHEATHING TYPE, THICKNESS, AND NAILING.
- COLUMNS SHALL BE DOUBLE STUD MINIMUM, UNLESS NOTED OTHERWISE. SEE 11/S4.0.
- AT ALL SHEARWALLS PROVIDE DOUBLE TOP PLATES AND SPLICE PER 12/S4.0.
- CS ___ INDICATES COILED STRAP TYPE PER SCHEDULE 6/S4.0. REFER TO DETAILS FOR TYPICAL STRAP ASSEMBLY.
- POSTS □, INCLUDING ENDS OF WALL OPENINGS, SHALL BE (2)2x UNLESS NOTED OTHERWISE.
- MAY SALVAGE/RE-USE EXISTING BEAM PROVIDED MATERIAL IS FREE OF ROT, CHECKS AND KNOTS AND MEETS MINIMUM SIZE NOTED.

HANGER SCHEDULE

MEMBER (FLAT ONLY)	HANGER	FACE NAILING	CAPACITY (Cd = 1.0)
2x4	LUS24	10d COMMON	575 lb
2x6	LUS26	10d COMMON	865 lb
2x8	LUS28	10d COMMON	1100 lb
2x10 or 2x12	LUS210	10d COMMON	1335 lb
4x10 or 4x12 PSL 3/2x11/8	HUCQ410	SDS PER MANUFACTURER	3200 lb

NOTE: WHERE FACE-MOUNT HANGER ABUTS COLUMN CAPS, WELD TO FACE OF STEEL SIM DETAIL 7/S3.2.

LEGEND



1 MAIN FLOOR FRAMING PLAN (BASEMENT WALLS)
S2.1 scale: 1/4" = 1'-0"

NOTE! EXISTING FRAMING MEMBERS AS INDICATED ON THIS PLAN ARE ASSUMED FOR DESIGN PURPOSES ONLY. HARRIOTT VALENTINE ENGINEERS SHALL NOT BE HELD LIABLE FOR LOCATION/ SIZE OF EXISTING MEMBERS AS CALLED ON THIS PLAN. EXISTING MEMBERS SHALL BE VERIFIED AND REPORTED TO STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

3/4" = 1'-0" 1

3/4" = 1'-0" 2

3/4" = 1'-0" 3

3/4" = 1'-0" 5

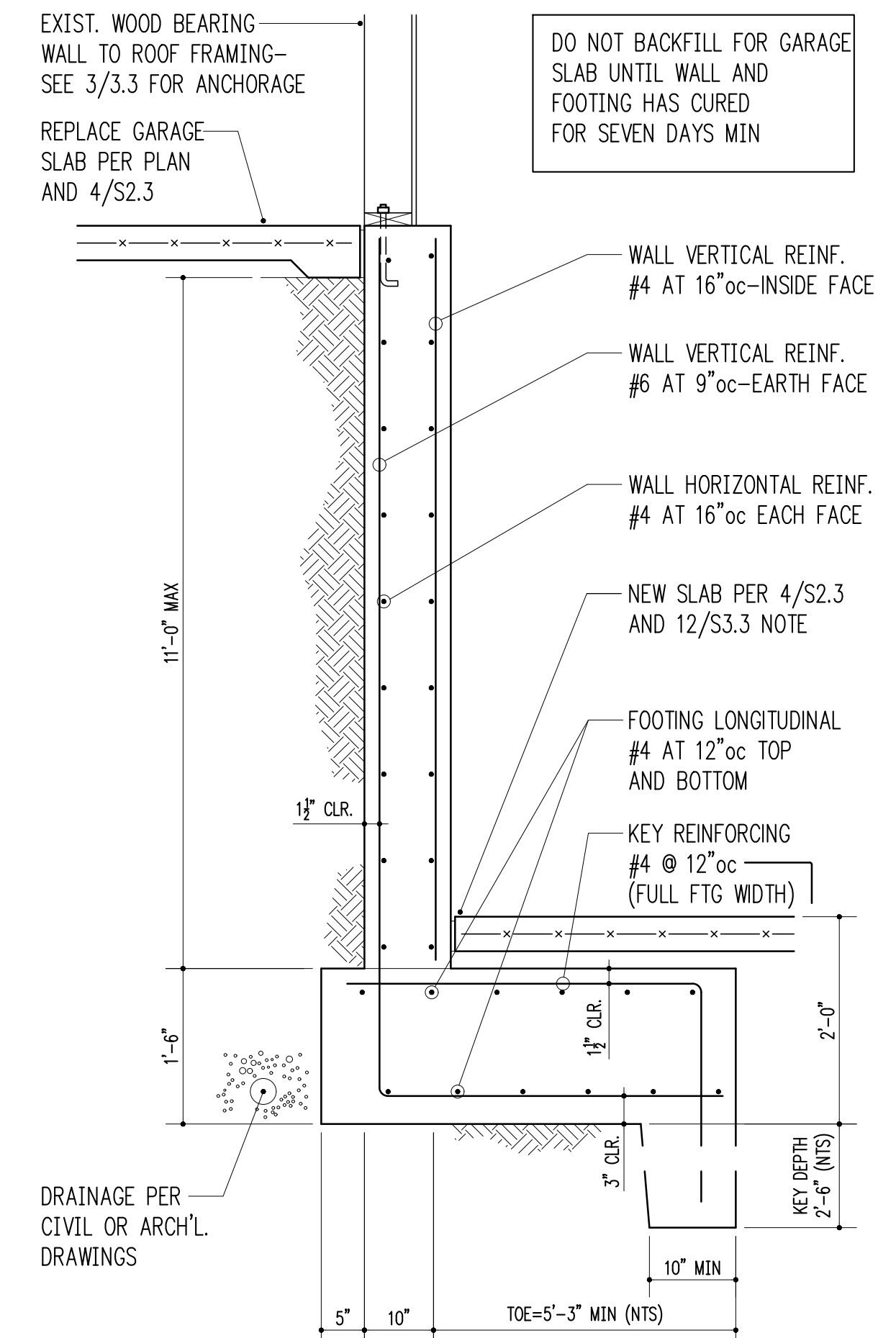
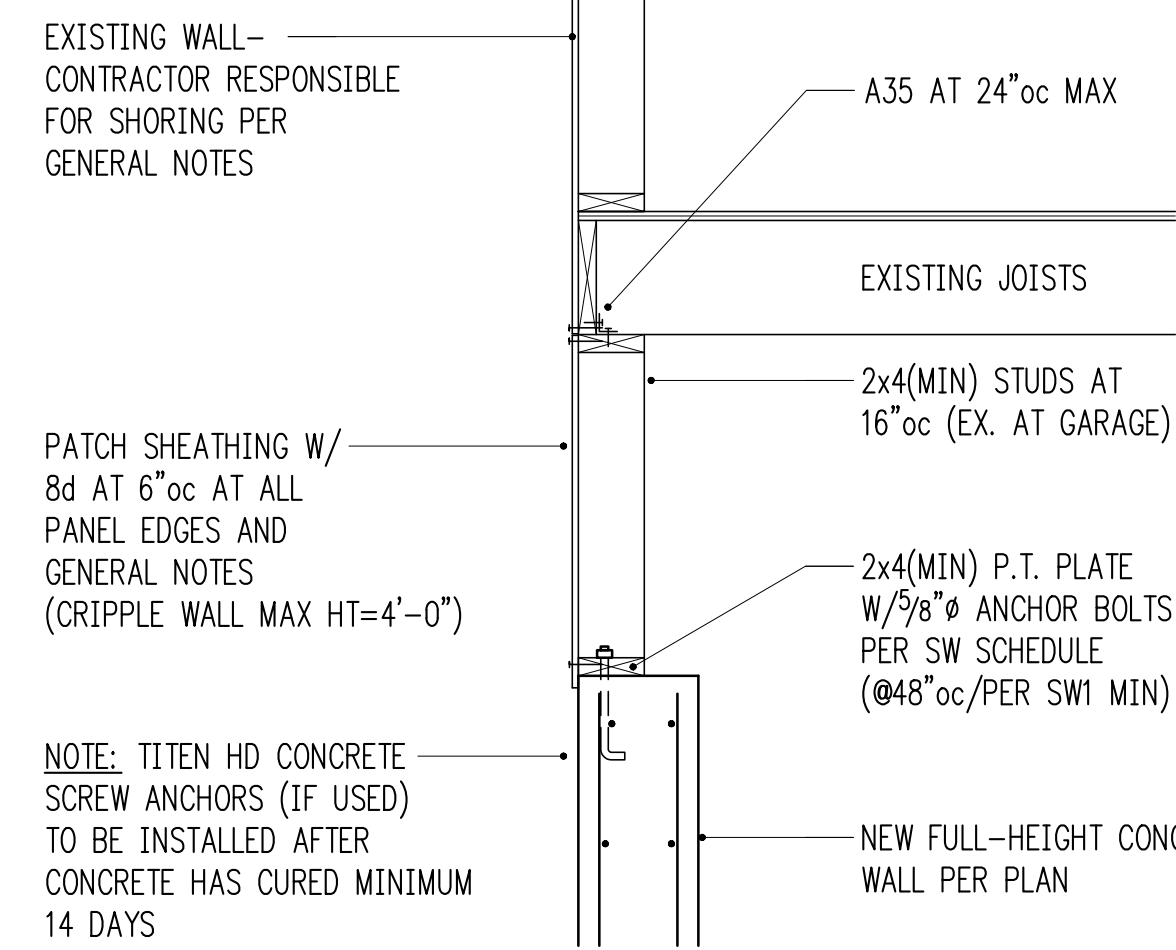
3/4" = 1'-0" 6

3/4" = 1'-0" 7

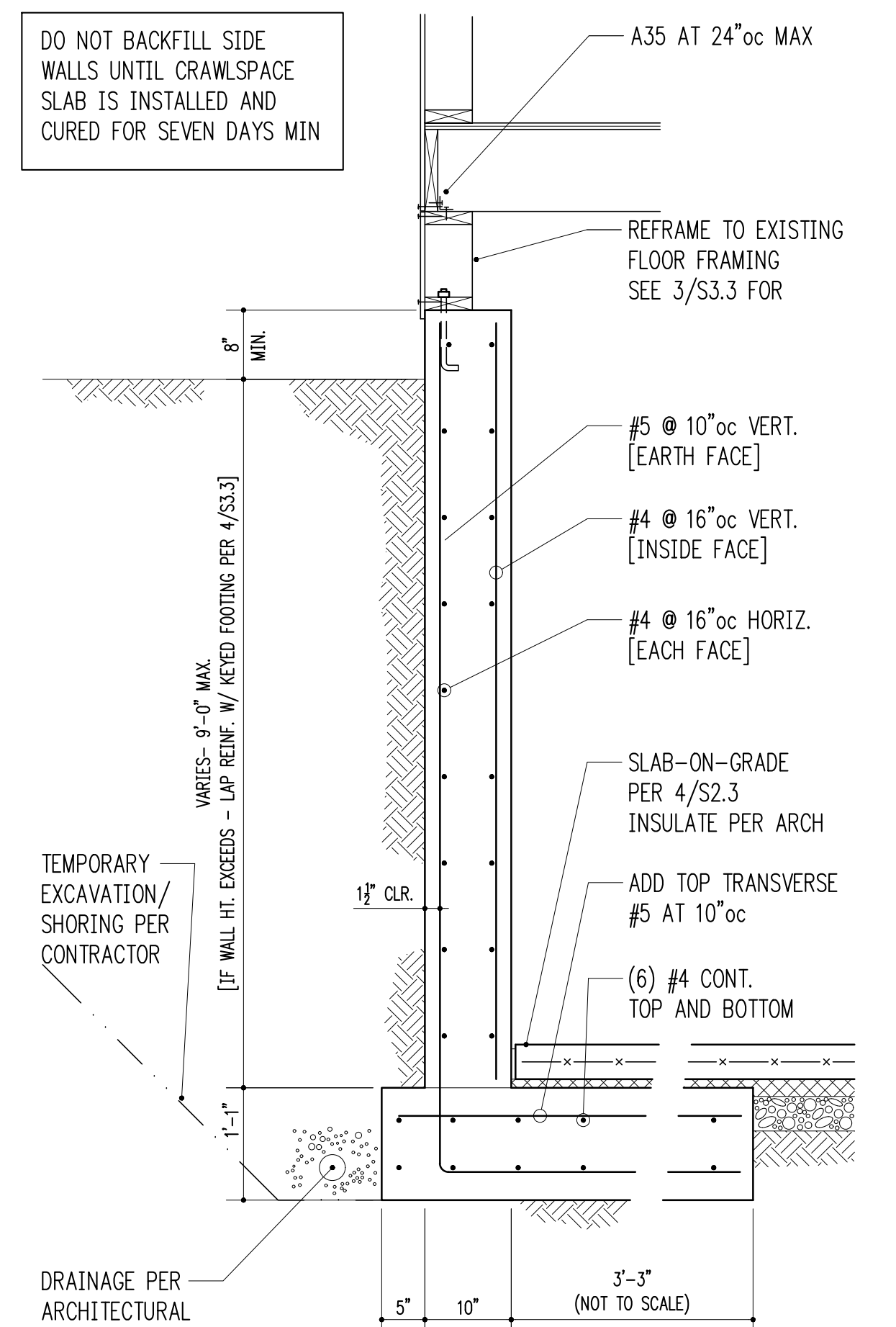
3/4" = 1'-0" 9

3/4" = 1'-0" 10

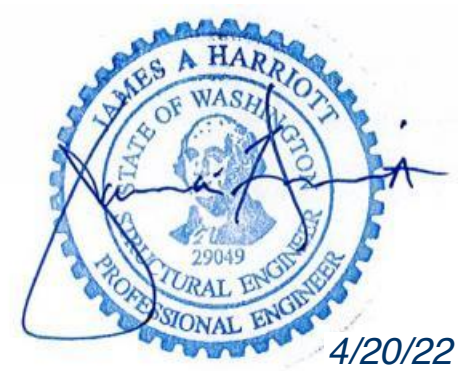
3/4" = 1'-0" 11



WALL AT EXISTING GARAGE
3/4" = 1'-0" 4



NORTH/SOUTH SIDE WALLS
3/4" = 1'-0" 12



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 kwarn@harriottvalentine.com

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Project
Vanderwall Residence
 7179 Holly Hill Drive
 Mercer Island, WA 98040

Issue Date	Issue Description
1/25/2021	Permit Submittal
05/26/21	Corrections 1
08/31/21	Issued for Constr./Rev 1
10/11/21	Rev 2-Pile Placement Only
10/20/21	Rev 2-AsBuilt/Field Mods
4/20/22	Rev 3-Crawlspace Convers.

Building Department Approval

Drawing Title
STRUCTURAL DETAILS

Drawing Number
S3.3